

PART OF LOT 18
CONCESSION 5
being PART 2 ON PLAN 35R-16865
TWP. OF STEPHENSON
NOW IN THE
TOWN OF HUNTSVILLE
DISTRICT MUNICIPALITY OF MUSKOKA

LOT SUMMARY:

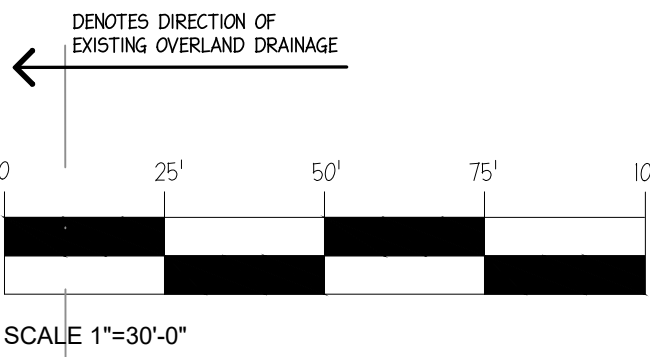
EXISTING CPP PRECINCT - CRBE WITH EXCEPTION C2-1152
TOTAL LOT AREA = 112,600 ft² (1.046 Ha)

EXISTING COMMERCIAL MOTOR VEHICLE SERVICE STATION = 3690 ft²
PROPOSED SINGLE FAMILY DWELLING (MAXIMUM) = 1400 ft²
PROPOSED COVERED DECK = 168 ft²
PROPOSED UNCOVERED DECK = 168 ft²
TOTAL STRUCTURE AREA = 5426 ft²

LOT COVERAGE ALLOWED = 30%
PROPOSED TOTAL LOT COVERAGE = 4.8%

SITE PLAN NOTES:

- BUILDING DRAINAGE TO CONSIST OF MINIMUM 6" OF 3" CLEAR STONE OVER 4" PERFORATED PLASTIC DRAINAGE PIPE WITH FILTER SOCK. SLOPE ALL DRAINAGE PIPE TO REAR CORNER AS INDICATED. STEP DRAINAGE PIPE AS REQUIRED TO FOLLOW FOOTINGS. FOOTING DRAINS TO EXIT AT DRY WELL.
- ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT IN ACCORDANCE WITH TOWN BYLAW 2016-3.
- EXISTING DRILLED WELL IS PROPOSED TO SERVICE NEW SINGLE FAMILY DWELLING.
- PROVIDE CONSTRUCTION MITIGATION TECHNIQUES & MEASURES TO ENSURE NO ADVERSE AFFECTS AND NEGATIVE IMPACTS ON THE NATURAL FEATURES OF THE SUBJECT PROPERTY.
- ALL EXISTING VEGETATION (WITH THE EXCEPTION OF ANY REMOVAL NECESSARY FOR THE PROPOSED STRUCTURE AND DRIVEWAY) TO REMAIN IN A NATURAL STATE.
- MAXIMUM BUILDING HEIGHT OF PROPOSED SINGLE FAMILY DWELLING TO BE 9m.
- HYDRO FOR PROPOSED SINGLE FAMILY DWELLING TO RUN UNDERGROUND FROM WESTERN MOST POLE AT ROAD.
- PROPOSED BUILDING, DRIVEWAY AND SEPTIC LOCATIONS ARE SUGGESTED ONLY AND MAY CHANGE DUE TO SITE CONDITIONS. THEY ARE SHOWN FOR REFERENCE ONLY AND PLANNING APPROVAL IS FOR THE BUILDING ENVELOPE AREA AS INDICATED.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK ON THE ATTACHED DOCUMENTS.		
QUALIFICATION INFORMATION	SHEA GREENLEAF Name	21499 BCIN
REGISTRATION INFORMATION	GREENLEAF TECHNICAL SOLUTIONS Firm Name	102937 BCIN

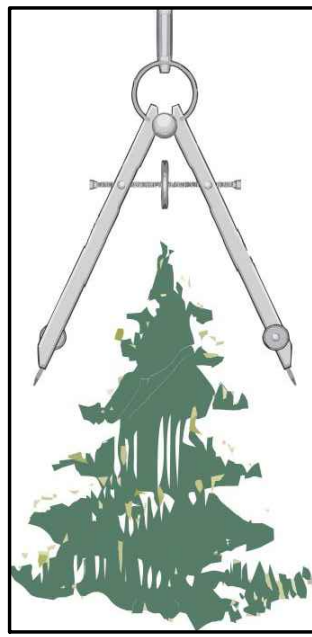
PROJECT STATUS		
ISSUED	DATE	REMARKS
1		
2		
3		

REVISION SCHEDULE		
REV	DATE	REMARKS
1		
2		
3		

PROJECT
for DEAN STEVENSON
CPP BYLAW AMENDMENT
90 SOUTH MARY LAKE RD., PORT SYDNEY

TITLE
GENERAL NOTES & SCHEDULES

PROJECT NORTH



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DWN. BY SG	DATE JUNE 26, 2025	PROJ # 25004
CHK'D SG	SCALE 1"=30'-0"	DWG # C100