

SKETCH FOR SITE PLAN PURPOSES

PREPARED FOR SML (LJMS)

SCALE = 1 : 100

1 0.5 0 1 2 3 4 5 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 964mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1 : 100

LEGEND

- DENOTES WOOD POLE
- DENOTES GUY LINE ANCHOR
- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- DENOTES BOUNDARY
- DENOTES SURVEY BOUNDARY
- DENOTES STANDARD IRON BAR
- DENOTES SHORT STANDARD IRON BAR
- DENOTES IRON BAR
- DENOTES GUY POLE

METRIC

DISTANCES SHOWN ON THIS SKETCH ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

INFORMATION SHOWN HEREON IS BASED ON FIELD WORK COMPLETED JULY 31, 2023

ZONING: CENTRAL BUSINESS DISTRICT (CBD)

Municipal Address: 63 MARK ST. EAST

LEGAL DESCRIPTION:

- PART OF LOT 15, 6/8 RIVER STREET REGISTERED PLAN 1, HANTSVILLE
- SUBMITTED AS PARTS 1 & 2, PLAN 35R-10001
- TOWN OF HANTSVILLE, DISTRICT MUNICIPALITY OF MUSKOKA
- PART OF LOT 15, 6/8 RIVER STREET REGISTERED PLAN 1, HANTSVILLE
- SUBMITTED AS PARTS 1 & 3, PLAN 35R-25130
- SUBJECT TO EASEMENT OVER PARTS 1 & 3, PLAN 35R-25130 AS
- IN BEST INTERESTS
- TOWN OF HANTSVILLE, DISTRICT MUNICIPALITY OF MUSKOKA

DRAFT

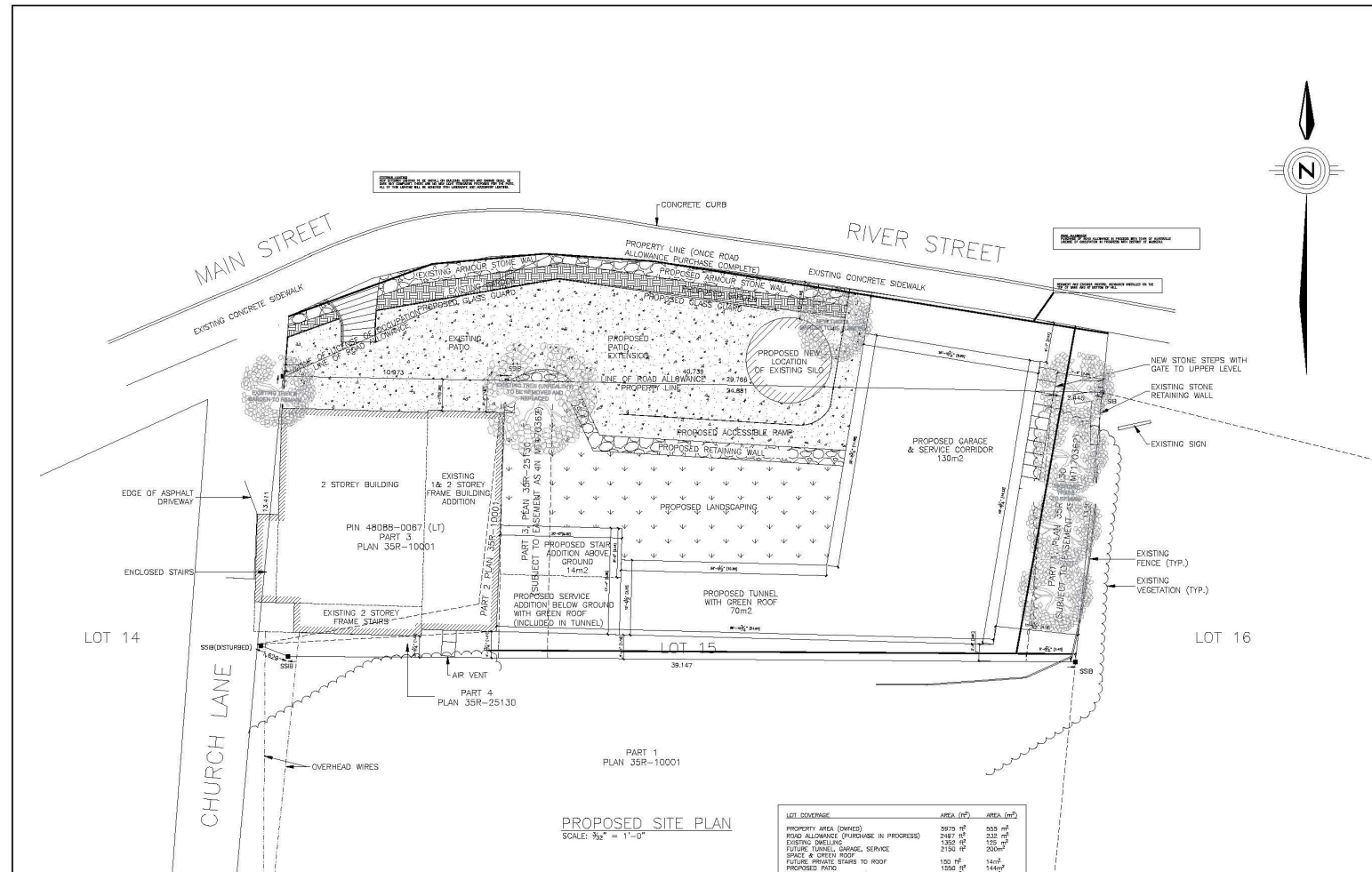
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1	RELEASED FOR COMMENT	AUGUST 14, 2023	PHA
No.	REVISION	DATE	APPROVED

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED IN THE TITLE BLOCK.

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PROPOSED SITE PLAN
 SCALE: 1/32" = 1'-0"

LOT COVERAGE	AREA (TYP)	AREA (m ²)
PROPERTY AREA (OWNED)	2675 ft ²	255 m ²
ROAD ALLOWANCE (PURCHASE IN PROGRESS)	2487 ft ²	232 m ²
EXISTING DWELLING	1350 ft ²	125 m ²
FUTURE TUNNEL, GARAGE, SERVICE SPACE & GREEN ROOF	2150 ft ²	200m ²
FUTURE PRIVATE STAIRS TO ROOF	120 ft ²	14m ²
PROPOSED PAVES	1350 ft ²	144m ²
SILG (EXISTING/RELOCATED)	260 ft ²	18m ²
LOT COVERAGE (LESS PATIO) = ASS		