



**NOTICE OF COMPLETE APPLICATION AND  
PUBLIC MEETING – ZONING AMENDMENT  
AND  
NOTICE OF CONSENT**

**LANDS AFFECTED:** 131 Bowyer Road, also known as Part of Lot 25, Concession 5, Chaffey, Town of Huntsville.

**TAKE NOTICE** that the Development Services Committee of the Town of Huntsville will hold a public meeting concerning an amendment to Zoning By-law 2008-66P, as amended.

**MEETING DATE:** September 11, 2019

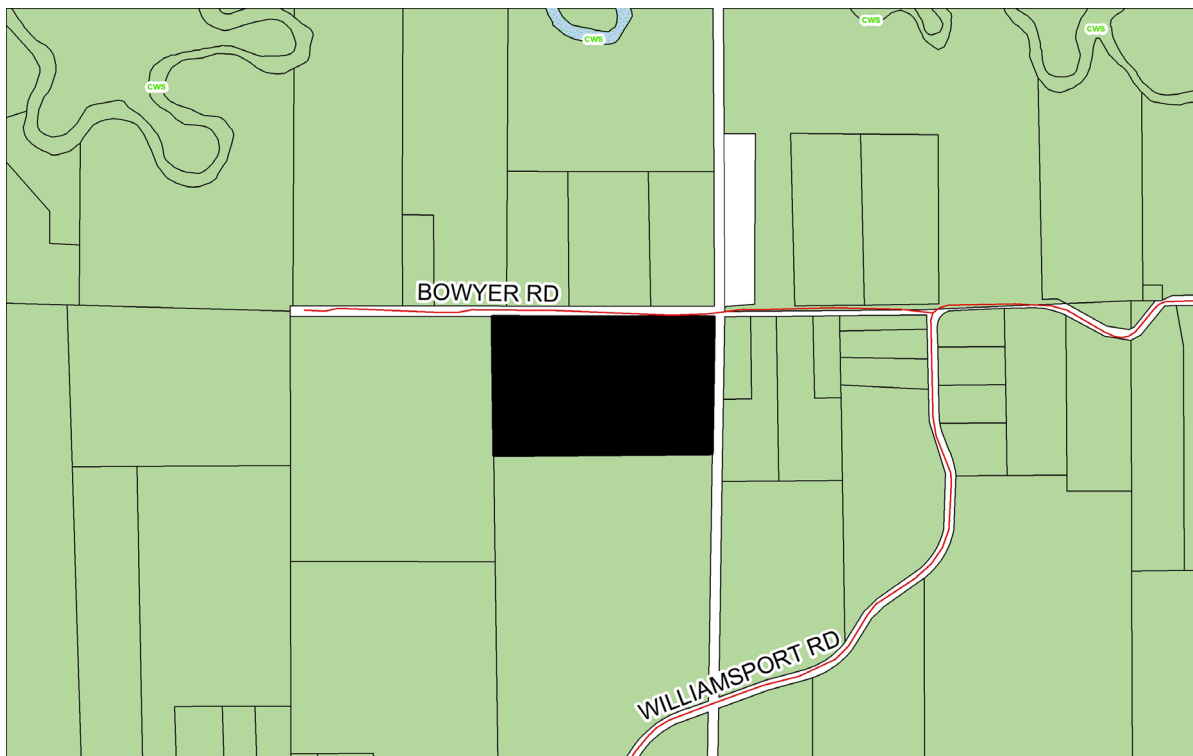
**REZONING APPLICATION NO.:**

**TIME:** 1:00 P.M.

Z/32/2019/HTE (Grogan)

**LOCATION:** Council Chambers (3<sup>rd</sup> Floor)  
Town Hall, 37 Main Street East, Huntsville

**PURPOSE AND EFFECT:** The zoning amendment would change the lot from a Rural One (RU1) Zone to a Rural Residential (RR) Zone and Conservation (C) Zone to facilitate the creation of three new rural residential lots.



**IF YOU WISH TO BE NOTIFIED** of the decision of Council on the proposed zoning by-law amendment, you must make a written request to the Town of Huntsville (see address below).

**IF A PERSON OR PUBLIC BODY** would otherwise have an ability to appeal the decision of Council to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Development Services Committee or Council before the by-law is passed, the person or public body is not entitled to appeal the decision. If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Development Services Committee or Council before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

## **NOTICE OF CONSENT APPLICATIONS B/48-50/2019/HTE**

In addition to Rezoning Application Z/32/2019/HTE, the applicant also submitted B/48/49/50/2019/HTE, which applies to the same lands as the proposed rezoning.

The purpose and effect of the consent applications is to create three new rural residential lots. Each of the severed lots would have a minimum area of 1.7ha and 60 metres of frontage on Bowyer Road. The retained lot would have 6.45ha and 222m of frontage on Bowyer Road and is presently developed with a single family dwelling.

**Although no public meeting is being held in regards to the consent**, any person or public body may make written submissions to the Town of Huntsville concerning the proposed consent application. ***Please note that any objections must include your name, contact information and reasons for your objection.***

A decision on the consent application will be made **NO EARLIER THAN Wednesday, September 11, 2019**. Any submissions regarding this application must be made in writing before this date.

**IF YOU WISH TO BE NOTIFIED** of the decision of the approval authority on the proposed consent, you must make a written request to the Town of Huntsville (see below).

**IF A PERSON OR PUBLIC BODY** that files an appeal of a decision of the approval authority in respect of the proposed consent does not make written submissions to the approval authority before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal may dismiss the appeal.

**ALL COMMENTS AND SUBMISSIONS RECEIVED** will become part of the public record. Comments received as part of the public participation process for this proposal will be considered by Development Services Committee and Council.

**FOR MORE INFORMATION** about this matter, contact the Town of Huntsville Planning Department:  
37 Main St. E, Huntsville, ON. P1H 1A1

**IN PERSON:** 8:30a.m.-4:30p.m.  
**TELEPHONE:** (705) 789-1751 (Ext. 2230).  
**EMAIL:** [planning@huntsville.ca](mailto:planning@huntsville.ca)  
**WEBSITE:** [www.huntsville.ca](http://www.huntsville.ca)

**August 22, 2019**